

CHAPTER 15



R-1 Zone (Conventional Single Family Residential) Zones

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25-15.1 Purpose

The purpose of the R-1 district is to provide living areas within Firebaugh where development is consistent with the Firebaugh General Plan and is generally limited to low density concentrations of single-family dwellings, and where regulations are designed to promote the following: (1) encourage a suitable environment for family life, (2) provide space for community facilities, including parks, schools, churches and other facilities that will complement the residential environment; (3) a circulation system that is pedestrian-friendly, is properly connected to the community at-large and adjacent residential developments, and provides for alternative forms of transportation; (4) an attractive and unique neighborhood design that ranges from streetscape to the residential dwellings themselves; and (5) the conservation of valuable resources ranging from water to energy.

25-15.2 Subdistricts

In order to adequately plan for single family development at various densities, the R-1 district is further divided into the following subdistricts:

- R-1 (single family residential, 6,500 square foot minimum lot size
- R-1-5 (single family residential, 5,000 square foot minimum lot size);
- R-1-4.25 (single family residential, 4,250 square foot lot size);

25-15.3 Permitted Uses

The following uses are permitted by administrative approval, subject to development standards contained in this chapter.

- a. Single-family dwellings, including conventional stick-built, and mobile homes/modular homes subject to design standards contained in Section 25-15.9 of this chapter.
- b. Accessory buildings and structures, including garages, sheds and similar.
- c. Swimming pools, subject to standards contained in Section 25-15.5 d. (Yard Setbacks).
- d. Home occupations , subject to standards contained in Chapter 25-53 (Special Uses).
- e. Second residential units , subject to standards contained in Chapter 25-53 (Special Uses).
- f. Small day care homes (for 1 to 8 children).
- g. Licensed residential care facilities serving six or fewer persons.
- h. Employee Housing, subject to the issuance of a permit by the State of California Department of Housing and Community Development as provided in California Health and Safety Code Sections 17021.5 and 17030. The permit shall be prominently displayed in the housing unit and shall be provided to any peace officer, City inspector or State inspector, upon demand.
- i. Drainage basins.
- j. Water well sites.
- k. Utility facilities, including electrical substations, elevated pressure tanks, and communication equipment buildings.

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- l. Model homes, subdivision sales offices and temporary construction materials storage yards associated with the development of a residential subdivision.
- m. Transitional and supportive housing (six or fewer persons).
- n. Storage of recreational vehicles, motorhome, travel trailer, truck camper, camping trailer, boat or boat trailer storage.

25-15.4 Conditional Uses

The following uses shall be permitted upon the granting of a Conditional Use Permit consistent with Chapter 25-63 Conditional Use Permits.

- a. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, nonprofit schools and colleges; churches and other religious institutions.
- b. Licensed senior citizen housing facilities.
- c. Licensed large family day care facilities (for 9 or more children).
- d. Licensed residential care facilities serving more than six persons.

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25-15.5 Development Standards

a. Lot Area

The minimum lot size for Firebaugh’s single family residential districts are as follows:

<u>District</u>	<u>Minimum Site Area</u>
R-1	6,500 square feet
R-1-5	5,000 square feet
R-1-4.25	4,250 square feet

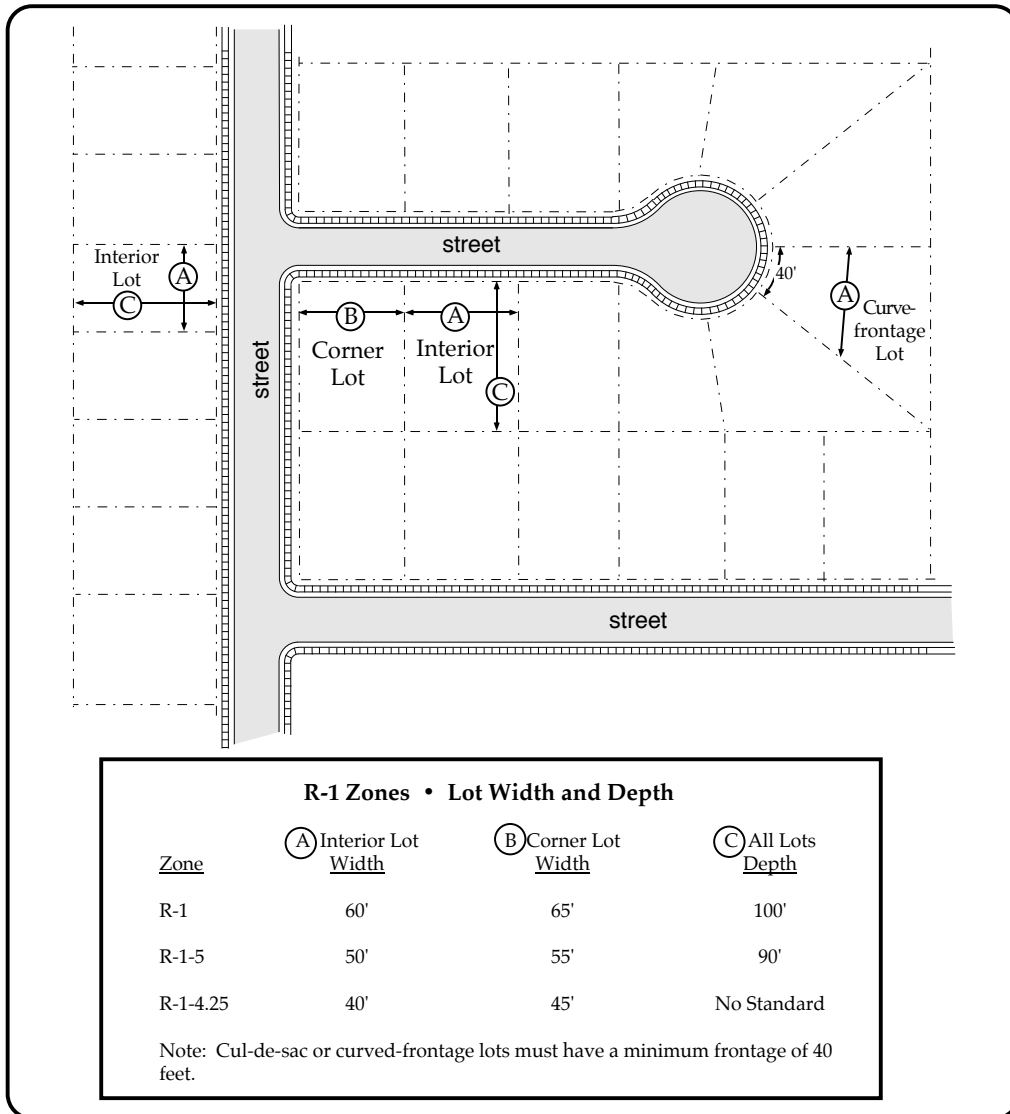
b. Lot Frontage and Depth (see also Exhibit 15-1)

1. The minimum lot frontage and depth requirements for each of Firebaugh’s single family residential districts are as follows:

Table 15-1: Minimum Lot Width and Depth Requirements

	<u>R-1 Zone</u>	<u>R-1-5 Zone</u>	<u>R-1-4.25 Zone</u>
Width: Interior Lots	60 feet	50 feet	40 feet
Width: Corner Lots	65 feet	55 feet	45 feet
Cul-de-sac/curve frontage lots	40 feet	40 feet	40 feet
Depth	100 feet	90 feet	No standard, though the depth must be sufficient to meet minimum lot area requirement of 4,250 s.f.

Exhibit 15-1: Lot Width and Depth Requirements Shown on Typical Lots



c. Building Height

Residential structures shall not exceed 25 feet/two stories in height; Accessory structures shall not exceed 12 feet in height.

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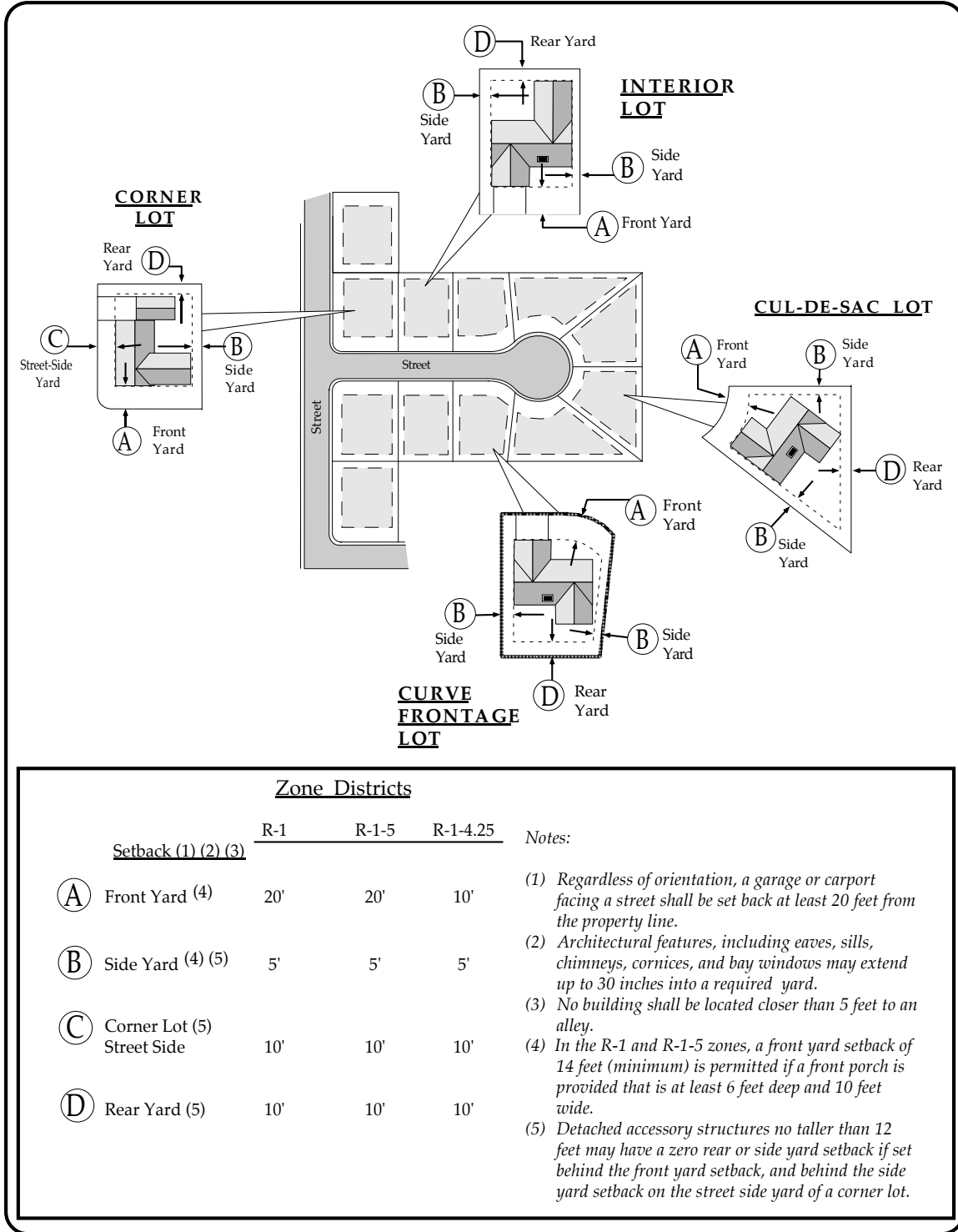
d. Yard Requirements (see also Exhibit 15-2)

Yard setback areas shall be maintained on lots in the single family zones as shown in Table 15-2.

Table 15-2
Yard Setback Requirements

	<u>R-1 Zone</u>	<u>R-1-5 Zone</u>	<u>R-1-4.25 Zone</u>
Front Yard	20 feet, minimum, except that a front yard setback of 14 feet (minimum) is permitted if a front porch is provided that is at least 6 feet deep and 10 feet wide. Regardless, garages and carports facing a street must be set back at least 20 feet.	20 feet, minimum, except that a front yard setback of 14 feet (minimum) is permitted if a front porch is provided that is at least 6 feet deep and 10 feet wide. Regardless, garages and carports facing a street must be set back at least 20 feet.	10 feet, minimum, except that 20 feet is required for the garage portion of a dwelling that faces a street.
Side Yards			
Interior Side Yard	5 feet, minimum	5 feet, minimum	5 feet, minimum
Corner lot street side yard	10 feet, minimum, except 20 feet required where a garage or carport faces a street.	10 feet, minimum, except 20 feet required where a garage or carport faces a street.	10 feet, minimum, except 20 feet required where a garage or carport faces a street.
Rear Yard	10 feet, minimum	10 feet, minimum	10 feet, minimum
1). Detached accessory structures no taller than 12 feet may have a zero rear or side yard setback if set back behind the front yard setback, and behind the side yard setback on the street side yard of a corner lot. (2) Architectural features, including eaves, sills, chimneys, cornices, and bay windows may extend up to 30 inches into a required yard. (3) No building shall be located closer than 5 feet to an alley. (4) Portable carports are prohibited between a dwelling and any street abutting the lot (5) Swimming pools shall not be located in any required front yard, or a required side yard on the street side of a corner lot. Swimming pools located in a rear or side yard must be set back at least five feet from the rear and side property lines.			

**Exhibit 15-2: Yard Setback Requirements in the R-1 Zones
 illustrated on typical lot types**



25-15.6 Fences, Walls and Hedges (see also Exhibit 15-3)

a. Front Yards:

Fences, walls and hedges in a required front yard setback area shall not exceed three feet in height, except that a fence or wall may be four feet in height if more than 50 percent of the top one-foot of the structure is see-through (such as wrought-iron).

b. Rear and Side Yards:

Fences, walls, and hedges in the area behind the required front yard setback shall not exceed seven feet in height.

c. Fences on the Street Side Yards of Corner Lots

Fences, walls and hedges within the required side yard setback area along the street side yard of a corner lot shall not exceed three feet in height, except that a fence or wall may be four feet in height if more than 50 percent of the top one-foot of the structure is see-through (such as wrought-iron).

d. Corner visibility triangle

Street Intersection

No fencing higher than 3 feet shall be placed in the corner area of a lot formed by a triangle with its right angle at corner of the lot adjacent to the street intersection and right angle sides measuring 30 feet long.

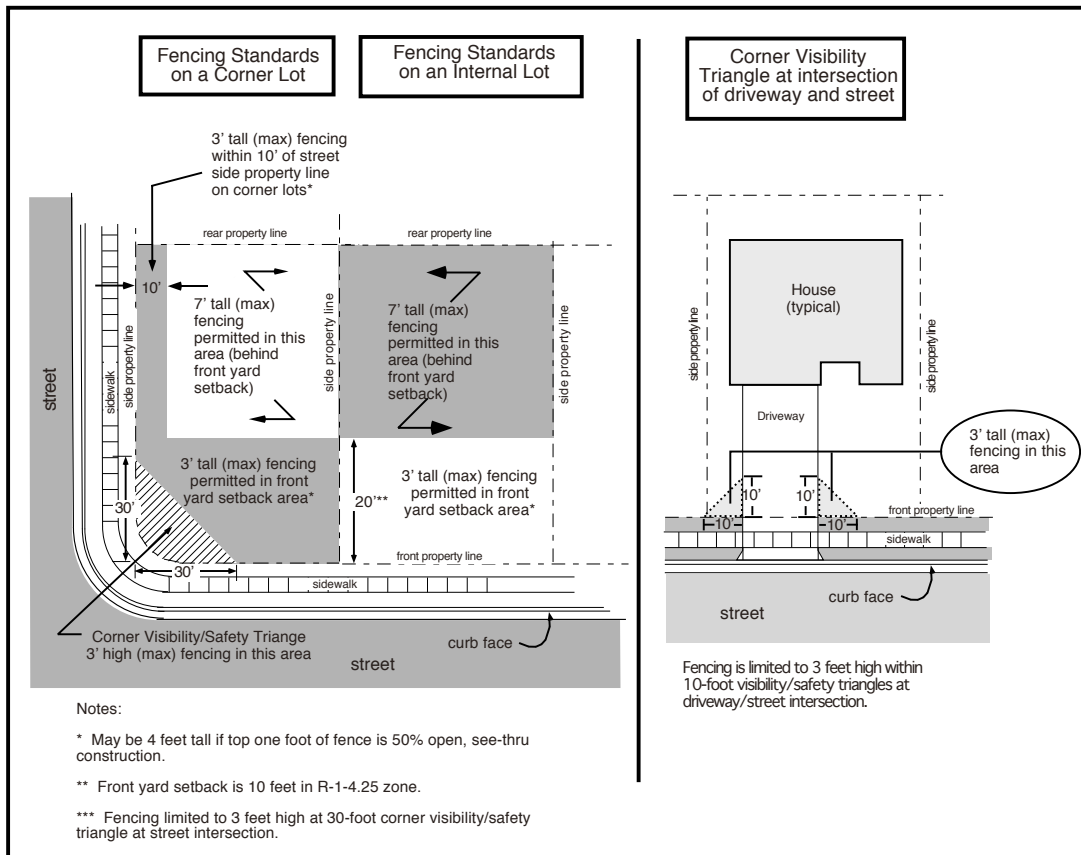
Driveway/Street Intersection

No fencing higher than 3 feet shall be placed in triangular areas situated where a driveway intersects a street. The affected area is defined as a triangle where the right angle corner is set at the point where the driveway intersects the property line, and the right angle sides measure ten feet long.

e. Materials such as razor wire and barbed wire are prohibited in residential zones (except for temporary construction yards associated with a development project).

f. For non-residential uses, the fencing standards of Chapter 25-21 (C-1 Zone) shall apply.

Exhibit 15-3: Fencing Standards Shown on Typical Lots



25-15.7 Off-Street Parking

- a. In the R-1 and R-1-5 zones a minimum of two covered parking stalls (within a garage or permanent carport) shall be provided for each single family dwelling. Each space shall have a minimum width of 10 feet and a minimum depth of 20 feet. All parking spaces and driveways shall have a concrete or asphalt surface. Where a garage or carport is open to a public street, a driveway of at least 20 feet in length shall be provided between the face of the garage and the back of sidewalk or property line, whichever distance is greater.
- b. In the R-1-4.25 zone, a minimum of one covered parking stall (within a garage or permanent carport) shall be provided. Each space shall have a minimum width of 10 feet and a minimum depth of 20 feet. All parking spaces and driveways shall have a concrete or asphalt surface. Where a garage or carport is open to a public street, a driveway of at least 20 feet in length shall be provided between the face of the garage and the back of sidewalk or property line, whichever distance is greater.

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- c. A garage or carport shall not be converted to become a habitable part of the dwelling unless an equivalent number of covered parking spaces are provided elsewhere on the subject parcel.
- d. Non-residential uses in this district shall provide off-street parking consistent with Chapter 25-45 Parking and Loading.

25-15.8 Signs

Signs shall be consistent with the requirements detailed in Chapter 25-47 Signs.

25-15.9 Design Standards

The following standards shall apply to all single family dwellings, including manufactured and mobile homes, that are established in the R-1 districts.

- a. The minimum width of a single family dwelling or a manufactured or mobile home shall be 20 feet.
- b. Mobile homes must be certified under the National Manufactured Home Construction and Safety Act of 1974.
- c. All residential dwellings shall be attached to a permanent foundation.
- d. The roofs of all residential dwellings shall be composed of composition shingles, ceramic tiles, metal or wood shakes or shingles. The pitch of the roof shall not be less than three inches of vertical rise over 12 inches of horizontal run. The roof overhang shall not be less than 12 inches around the building perimeter.
- e. The exterior siding of all residential dwellings shall be composed of wood, masonry, plaster, or metal sheathing.
- f. Siding shall extend to the ground, except when a solid concrete or masonry perimeter foundation or retaining wall is used, in which case the siding material need only extend to the top of the foundation or wall.

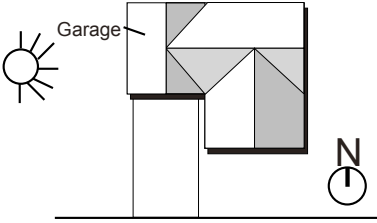
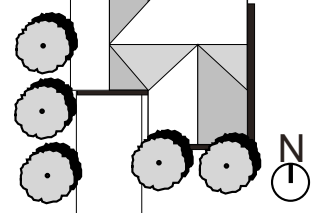
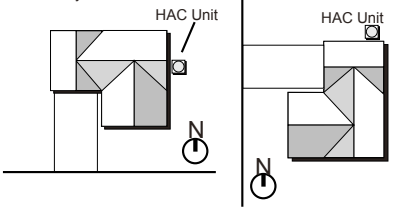
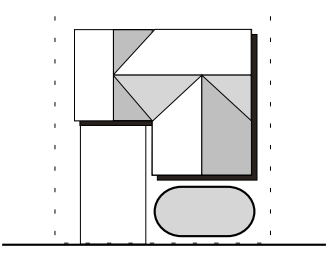
25-15.10 Energy Conservation (see also Exhibit 15-4)

- a. In order to conserve energy, seventy-five percent of all garages in subdivisions constructed after the adoption of this ordinance (insert date) shall be located on the west side of a home that fronts onto an east/west roadway, and on the north side of a home that fronts onto a north/south roadway.
- b. In order to conserve energy, all ground-mounted heating/cooling units in subdivisions constructed after the adoption of this ordinance (insert date) shall be located on the east side of a home that fronts onto an east/west roadway, and on the north side of a home that fronts onto a north/south roadway.
- c. In order to conserve energy, residents are encouraged to plant deciduous trees on the south and west sides of their home.

25-15.11 Water Conservation (see also Exhibit 15-4)

- a. In order to conserve water, not more than fifty percent of the front yard landscaping shall be devoted to turf. Shrubs planted in the front yard shall be drought-tolerant species. Artificial lawn shall be considered as a landscaping option.

Exhibit 15-4
Energy and Water Conservation Measures

<h3>Garage Placement</h3> <p>75% of all garages to be located on the west side of homes on an east/west street or on the north side of a home fronting on a north/south roadway.</p>  <p>The diagram shows a house with a garage attached to the west side. A sun icon is positioned to the left of the house, and a north arrow is to the right. The garage is shaded to indicate its placement.</p>	<h3>Deciduous Shade Trees</h3>  <p>The diagram shows a house with several deciduous trees planted on the south and west sides. A north arrow is to the right of the house.</p> <p>Homeowners are encouraged to plant shade trees on south and west sides of the home</p>
<h3>Heating/Cooling Unit Placement</h3> <p>Heating/Air Conditioning (HAC) units are to be located on the east side of homes on an east/west street or on the north side of a home fronting on a north/south roadway.</p>  <p>The first diagram shows a house with an HAC unit on the east side. The second diagram shows a house with an HAC unit on the north side. Both diagrams include a north arrow.</p>	<h3>Landscaping</h3> <p>No more than 50% of front yard may be turf. Other plantings should be drought-tolerant.</p>  <p>The diagram shows a house with a front yard. A dashed line indicates the front yard boundary. The yard contains a lawn and drought-tolerant plants.</p>