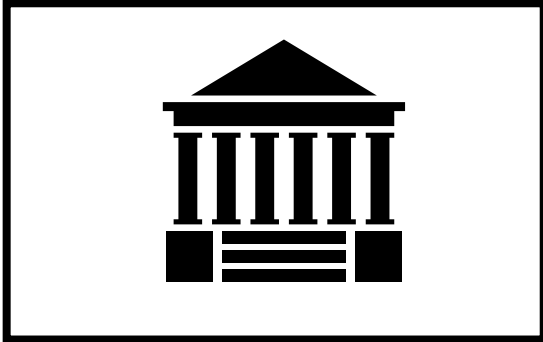


CHAPTER 33

G Zone (Government)



Sections

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25-33.1 Purpose

The purpose of the Government (G) district is to provide appropriate locations in the community for a wide range of public uses that contain public buildings, open space, public grounds or infrastructure improvements.

25-33.2 Permitted Uses

The following uses are permitted in the O district.

- A. Civic centers
- B. Courthouses
- C. Educational facilities

- D. Fire stations
- E. Governmental offices
- F. Jails
- G. Municipal corporation yards
- H. Public health clinics

25-33.3 Conditional Uses

The following conditional uses may be permitted in accordance with the provisions of Chapter 25-51 Conditional Use Permits.

- A. Public airports
- D. Communications equipment buildings and structures
- E. Electrical transmission and distribution substations.

25-33.4 Site Plan Review

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 25-53 Site Plan Review, (or a Conditional Use Permit for uses listed as such).

25-33.5 Development Standards (see also Exhibit 33-1 for a summary of development standards)

- A. Site Area, Lot Frontage and Depth

No requirement.

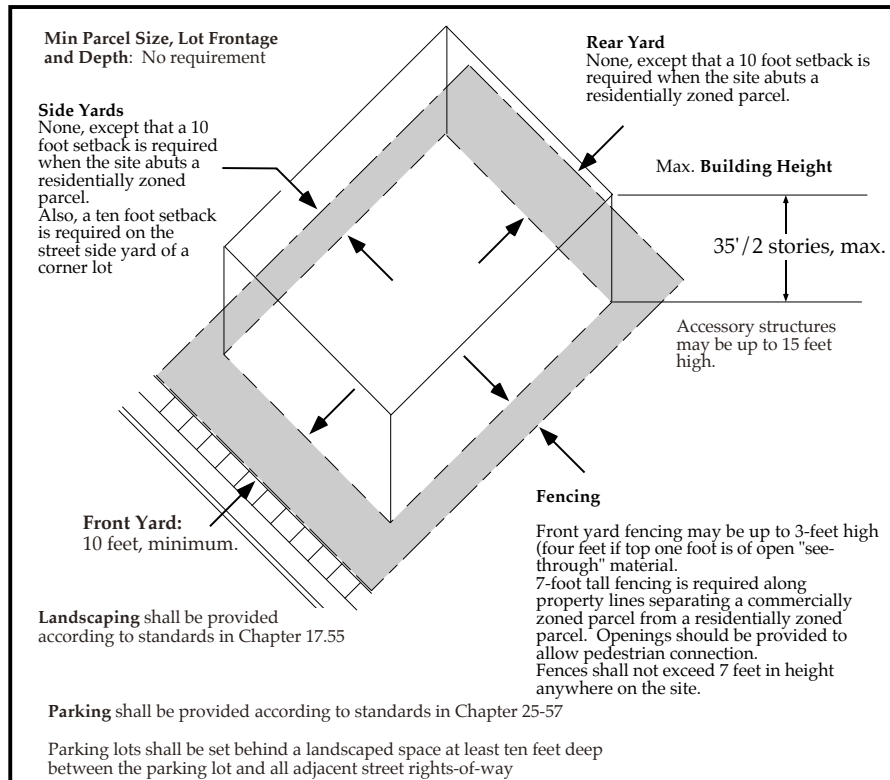
- C. Building Height

The maximum height of buildings shall be 35 feet/two stories, unless a Conditional Use Permit is secured to allow a taller structure.

D. Yards

1. Front: 10 feet, minimum. Further, parking lots shall be separated by a landscaped setback of at least ten feet from a front property line, and also the side property line for the street side yard on corner lots.
2. Side: No requirement unless the subject property abuts a residential district, wherein the minimum side yard shall be 10 feet, or where the site is a corner lot, in which a 10 foot setback is required on the street side yard..
3. Rear: No requirement unless the subject property abuts a residential district, wherein the minimum side yard shall be 10 feet.

Exhibit 33-1: Zoning Standards



25-33.6 Fences, Walls and Hedges

- A. Front Yards: Fences, walls and hedges shall not exceed three feet in height. A fence or wall may be four feet in height if more than 50 percent of the structure is see-through.
- B. Rear and Side Yards: Fences, walls, and hedges shall not exceed seven feet in height along any side or rear property line.
- C. Where a property zoned G abuts a residential district, a 7-foot solid block masonry wall shall be constructed between the two uses. Where appropriate, openings should be provided to allow pedestrians to travel between the two uses.

25-33.7 Off-Street Parking and Loading Facilities

- A. Uses in the G District shall provide off-street parking consistent with Chapter 17.45 Parking and Loading.
- B. Parking lots constructed in G district shall be designed and constructed so that within five years of construction, 50 percent of the parking lot is shaded by trees.
- C. Parking lots shall be separated from buildings by raised sidewalks or curbing.
- E. Parking lots shall be designed to accommodate solid waste pick-up.

25-33.8 Signs

Signs shall be consistent with the requirements detailed in Chapter 25-47 Signs.

25-33.9 Landscaping

- A. A landscaping and irrigation plan shall be submitted on all neighborhood commercial developments to the City Planner for review and approval consistent with the standards in Chapter 25-43 (Landscaping). All setback areas along streets shall be landscaped.
- B. The landscaping and irrigation plan shall show a tree-planting scheme in the parking lot that will result in 50 percent of the parking lot being shaded within five years.

- C. The landscaping and irrigation plan shall provide for a minimal amount of turf and shall incorporate a variety of xerophytic plants, mulch to reduce water use, and an automated irrigation system that incorporates water conservation technology, including drip irrigation, smart irrigation controllers, and low-flow irrigation heads.
- D. Parking lots should be screened from adjacent public roadways by low walls and/or hedges.
- E. Vines and climbing plants should be used on buildings, trellises and perimeter garden walls in order to soften the appearance on the buildings.
- F. All trash enclosures shall be surrounded by a 6-foot solid block wall and the area around the enclosure shall be landscaped. The gate to the enclosure shall be constructed of metal.

25-33.10 Design Guidelines

New development in the G zone shall be designed consistent with the guidelines shown in Chapter 25-27 (Commercial Design Guidelines)