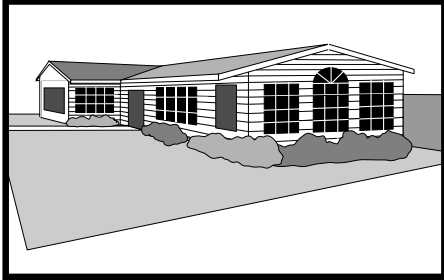


CHAPTER 37



MHP (Residential Mobilehome Park) Zone

Sections

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25-37.1 Purpose

The purpose of this section is to establish standards for the development of mobile home parks in Firebaugh. Firebaugh's housing element acknowledges that these developments serve as a valuable source of housing for the elderly and households in the lower- to moderate-income categories. Further, the higher densities of mobile home parks can help to conserve valuable farmland.

25-37.2 Permitted Uses

The following uses are permitted by administrative approval, subject to development standards contained in this chapter.

- a. Accessory buildings and structures, including garages, sheds and similar on the site of an approved and developed mobile home park.
- b. Swimming pools, on the site of an approved and developed mobile home park.
- c. Home occupations (subject to standards contained in Chapter 25-41 (Special Uses)) on the site of an approved and developed mobile home park.

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- d. Drainage basins.
- e. Water well sites.
- f. Utility facilities, including electrical substations, elevated pressure tanks, and communication equipment buildings.
- g. Model mobile homes, sales offices and temporary construction materials storage yards associated with the development of a permitted mobile home park.
- h. Storage of recreational vehicles, motorhome, travel trailer, truck camper, camping trailer, boat or boat trailer storage (subject to standards contained in Chapter 25-41 (Special Uses)) on the site of an approved and developed mobile home park.

25-37.3 Conditional Uses

The following uses shall be permitted upon the granting of a Conditional Use Permit consistent with Chapter 25-51 Conditional Use Permits.

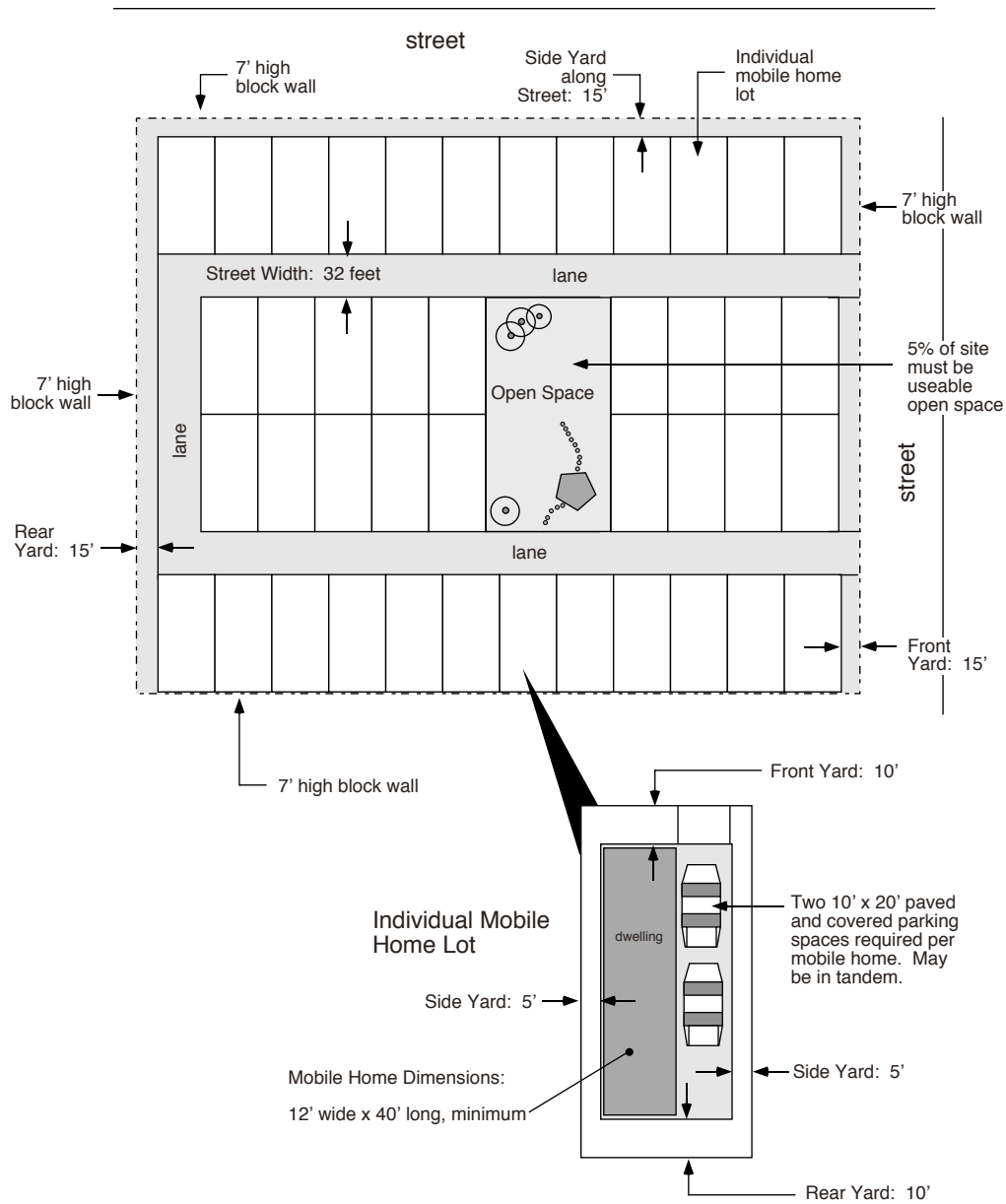
- a. Mobile home parks.
- b. Rental of spaces within a separate, designated section of a residential mobile home park for short term use by travel trailers and recreational vehicles. These spaces shall not exceed twenty percent of the total number of mobile home lots in the mobile home park. Short term use shall mean an individual or cumulative period of occupancy within the mobile home park of not more than thirty days during any 12 month period.

25-37.4 Development Standards (see also Exhibit 37-1)

- a. Density
 - 1. One mobile home is allowed for every 2,400 square feet of lot area.
 - 2. One recreational vehicle is permitted for every 1,500 square feet of the portion of the mobile home park that is reserved for recreational vehicles.
- b. Lot Size
 - 1. The minimum parcel size for a mobile home park shall be 1-1/2 acres.
 - 2. The minimum size for an individual mobile home space is 1,500 square feet (30 feet wide and 50 feet long).

Exhibit 37-1: Selected Mobile Home Park Standards

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c. Coverage

No more than 75 percent of an individual space shall be covered with structures, including the mobile home, carport, patio, and storage buildings.

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d. Unit size

All mobile homes shall have a minimum width of 12 feet and a minimum length of 40 feet.

e. Setbacks

1. Setbacks for the entire mobile home park shall be as follows:
 - (a) Front yard: 15 feet.
 - (b) Side yard: 15 feet.
 - (c) Rear yard: 15 feet.
2. Setbacks for mobile homes on an individual mobile home space shall be as follows:
 - (a) Front yard: 10 feet.
 - (b) Side yard: 5 feet.
 - (c) Rear yard: 10 feet.

h. Access and Streets

1. A mobile home park shall have no fewer than two entrances for vehicles from a public street.
2. Interior streets within the mobile home park shall have a minimum paved width of 32 feet. Said streets shall be constructed consistent with Firebaugh's Improvements Manual.

i. Open Space

Five percent of the gross area of any mobile home park shall be devoted to useable open space. Space for streets and required setback areas may not be counted toward this open space requirement.

j. Landscaping

1. All setback areas that front onto a public street shall be provided with landscaping and an automated irrigation system.

2. In order to conserve water, not more than fifty percent of the landscaping shall be devoted to turf. Shrubs planted shall be drought-tolerant species. Artificial lawn shall be considered as a landscaping option.
3. The front yard of each individual mobile home lot shall be landscaped.

k. **Building Height**

Residential structures shall not exceed 25 feet/two stories in height; Accessory structures shall not exceed 12 feet in height.

25-37.5 Fencing, Walls and Hedges

A 7-foot solid block wall shall be constructed along all property lines that surround the mobile home park, however the fence shall be reduced to 3 feet within the required front yard area.

25-37.6 Off-Street Parking

a. **Resident Parking**

Each mobile home space shall provide two off-street parking stalls. Said stalls may be designed as tandem stalls. Each stall shall have a minimum width of 10 feet and a minimum depth of 20 feet. All stalls shall be paved consistent with Firebaugh's Improvements Manual.

b. **Guest Parking**

There shall be one guest parking space provided within the mobile home park for every two mobile homes. The location of guest parking shall be approved as part of the Conditional Use Permit for the mobile home park.

25-37.7 Special Requirements

- a. Each mobile home shall be connected to City water and sewer service.
- b. Each mobile home pad shall consist of a base material adequate to support a mobile home.
- b. All tongues and tow bars shall be removed once a mobile home is fixed to the lot.
- c. All mobile homes shall be fitted with skirting, extending from the floor level of the mobile home to the ground.

- d. An on-site manager shall be required for all mobile home parks containing 16 or more mobile home units.

25-37.8 Signs

Signs shall be consistent with the requirements detailed in Chapter 25-47 Signs.