

What is the Purpose of the R-1 Zone?

The R-1 (Single Family Residential) zone is intended for the creation of low density single family residential neighborhoods, as well as complementary uses that are permitted in the zone, such as churches, schools and parks, among others.

The R-1 designation has three sub-zones that are based on the minimum lot size that is required:

- R-1** (6,500 square feet minimum lot size)
- R-1-5** (5,000 square feet, minimum lot size)
- R-1-4.25** (4,250 square feet, minimum lot size)

This brochure covers basic zoning standards including:

- Setbacks
- Building Height
- Parking
- Fencing
- Permitted Uses
- Conditionally Permitted Uses
- Others

Lot Size/Dimensions

All newly-created lots must be at least the following minimum size/dimensions:

	R-1	R-1-5	R-1-4.25
Lot Size	6,500 s.f.	5,000 s.f.	4,250 s.f.
Width (interior lots)	60'	50'	40'
Width (Corner lots)	65'	55'	45'
Width (cul de sac or curve-frontage lots)	40' width at curb	40' width at curb	40' width at curb
Depth	100'	100'	No standard but depth must be sufficient to meet minimum lot size

What Are My Setbacks?

1 What type of lot do I have?

This diagram to the right shows most typical lot types (interior lots, corner lots and cul-de-sac or curve lots). If your lot is not similar to these examples, please check with staff.

2 What is my property zoned?

There are three single family residential zones in Firebaugh:

- R-1,
- R-1-5
- R-1-4.25

To determine your setbacks you need to know your zoning. Please check with City Hall or the zoning map on the City's website.

3 Find My Setbacks by Zone

Zone	Yard Type			
	F Front Yard	S-1 Side Yard	S-2 Corner Lot Street Side yard	R Rear Yard
R-1	20*	5'	10**	10'
R-1-5	20*	5'	10**	10'
R-1-4.25	10*	5'	10**	10'

Example
An interior lot in the R-1 zone has the following setbacks:

- Front: 20 feet
- Sides: 5 feet
- Rear: 10 feet

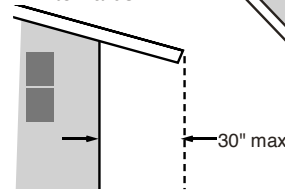
Notes:

* In the R-1 zone, a front yard setback of 14 feet (minimum) is permitted if a front porch is provided that is at least 6 feet deep and 10 feet wide. Regardless, garages and carports facing a street must be set back at least 20 feet.

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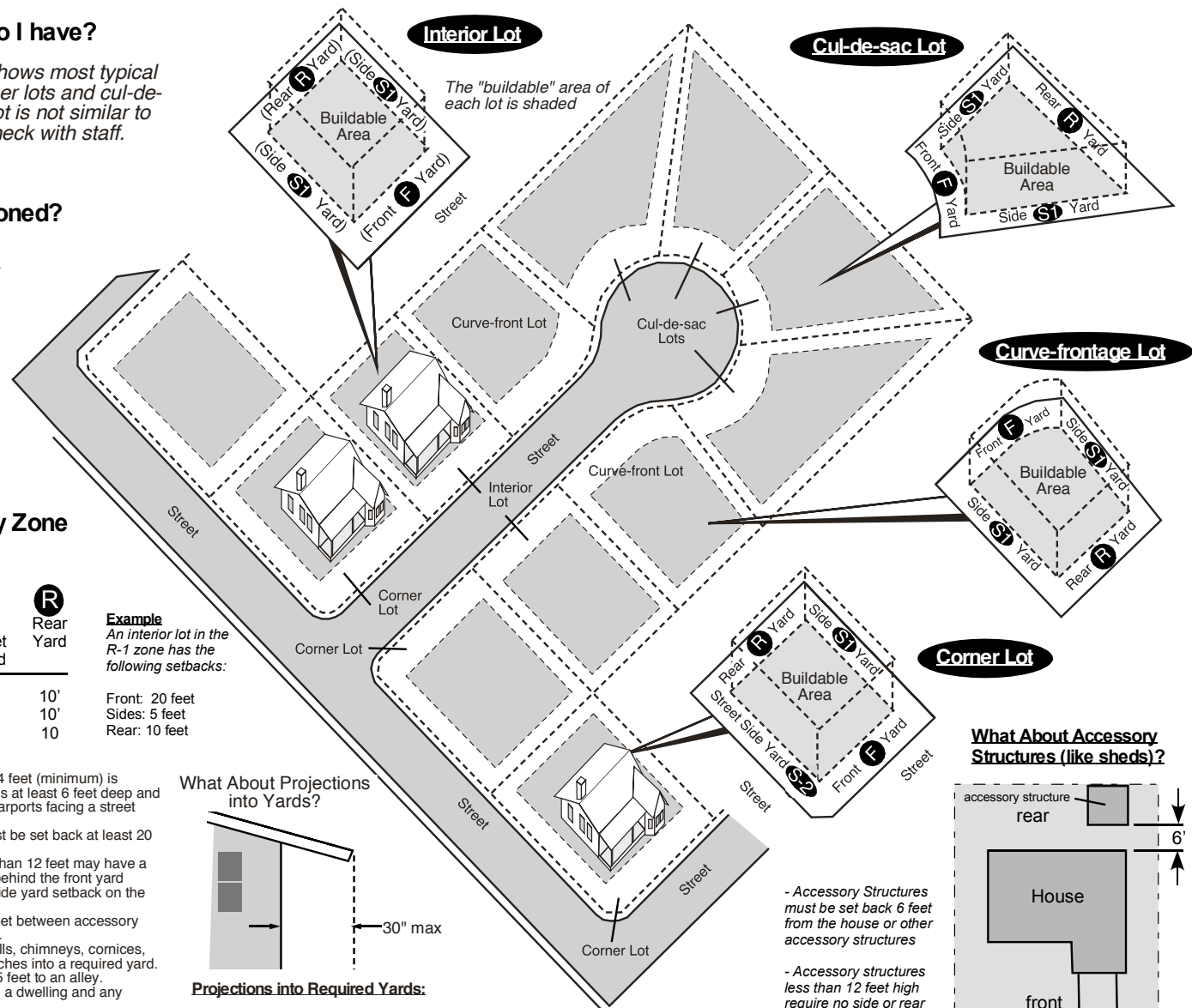
- (1) Detached accessory structures no taller than 12 feet may have a zero rear or side yard setback if located behind the front yard setback (and for corner lots: behind the side yard setback on the street side yard). See diagram far right.
- (2) There shall be a minimum setback of 6 feet between accessory structures and a dwelling on the same lot.
- (3) Architectural features, including eaves, sills, chimneys, cornices, and bay windows may extend up to 30 inches into a required yard.
- (4) No building shall be located closer than 5 feet to an alley.
- (5) Portable carports are prohibited between a dwelling and any street abutting the lot.
- (6) Swimming pools shall not be located in any required front yard, or a required side yard on the street side of a corner lot. Swimming pools located in a rear or side yard must be set back at least five feet from the rear and side property lines.

What About Projections into Yards?

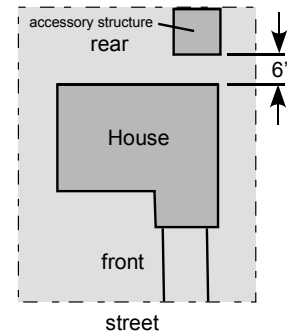


Projections into Required Yards:

Certain architectural components (eaves, chimneys, canopies, etc.) may project up to 30 inches into a required yard.



What About Accessory Structures (like sheds)?



- Accessory Structures must be set back 6 feet from the house or other accessory structures

- Accessory structures less than 12 feet high require no side or rear yard setback as long as they are behind the front yard setback.

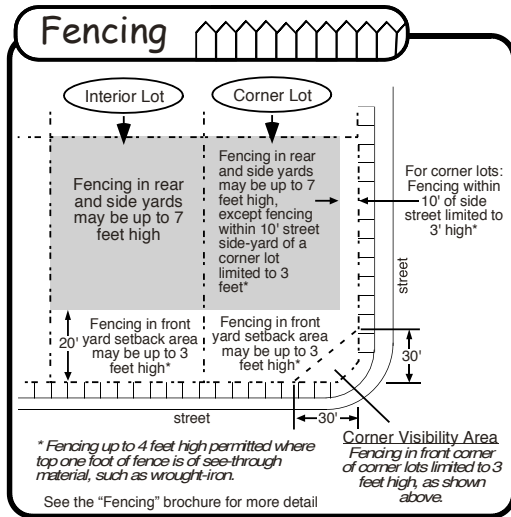
What is the Maximum Building Height?

Two stories/25 feet, maximum. Accessory structures may not exceed 12 feet in height.

What Are the Rules for Fencing?

The Zoning Ordinance regulates fencing by height and location on the lot. Fencing on corner lots is also regulated differently. Fencing regulations in general are as follows:

- Fencing in a rear yard may be up to 7 feet high.
- Fencing within the front yard setback can be up to 3 feet high, except 4 foot high fencing is permitted if the top one-foot is of open "see through" material (like wrought iron).



- On **corner lots**, fencing within the required setback area along the street side yard can be up to 3 feet high, except 4 feet high is permitted if the top one-foot is of open "see through" material (like wrought iron).

Corner Visibility Triangle:

- Where two streets intersect, fencing is limited to 3 feet high in the corner area of the lot formed by a triangle with its right angle at the corner and right angle sides measuring 30 feet
- Where a driveway intersects a street, fencing is limited to 3 feet high in the corner area of the lot formed by a triangle with its right angle at the corner and right angle sides measuring 30 feet.

What Are the Requirements for Parking?

- All single family dwellings must provide 2 covered parking spaces. Driveways must be a minimum 18 feet wide and 20 feet long.
- Portable carports are not permitted between a dwelling and the street.
- Other uses must provide parking as required in the Firebaugh Zoning Ordinance (Chapter 25-45).

What Uses are Permitted in the R-1 Zones?

The following uses are permitted in the R-1 Zone:

- a. Single-family dwellings, including conventional stick-built, and mobile homes/modular homes subject to design standards contained in Section 25-15.9 of the Zoning Ordinance.
- b. Accessory buildings and structures, including garages, sheds and similar.
- c. Swimming pools, subject to standards contained in Section 25-15.5 d. (Yard Setbacks).
- d. Home occupations (see Home Occupations brochure)
- e. Second residential units (see Second Units brochure)

- f. Small day care homes (for 1 to 8 children).
- g. Licensed residential care facilities serving six or fewer persons.
- h. Employee Housing (see Zoning Ordinance Section 25-15.3 for more information)
- i. Drainage basins.
- j. Water well sites.
- k. Utility facilities, including electrical substations, elevated pressure tanks, and communication equipment buildings.
- l. Model homes, subdivision sales offices and temporary construction materials storage yards associated with the development of a residential subdivision.
- m. Transitional and supportive housing (six or fewer persons).
- n. Storage of recreational vehicles, motorhome, travel trailer, truck camper, camping trailer, boat or boat trailer storage.

What Uses Are Permitted by Conditional Use Permit (C.U.P.)?

The following uses are listed as permitted by Conditional Use Permit (C.U.P.). This type of permit involves review by City staff and a public hearing before the Firebaugh Planning Commission

- a. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, nonprofit schools and colleges; churches and other religious institutions.
- b. Licensed senior citizen housing facilities.
- c. Licensed large family day care facilities (for 9 or more children).
- d. Licensed residential care facilities serving more than six persons.

R-1 Zone

R-1 • R-1-5 • R-1-4.25

- Zoning Standards
- Permitted Uses



This informational brochure explains basic zoning standards for the R-1 zones. It does not cover all regulations that may pertain to your property, particularly standards from the Uniform Building Code. If you are uncertain about any development regulations, please contact Firebaugh City Hall



City of Firebaugh
1133 P Street
Firebaugh, CA 93622
(559) 659-2043
www.firebaugh.org